

Torch Lake Township  
Zoning Board of Appeals (ZBA)

Special Meeting Agenda

**Wednesday, April 1, 2026**

**6:00 PM**

Community Services Building, Torch Lake Township, Michigan

*Please turn off cell phones.*

- A. Call to order/Roll call
- B. Approval of Agenda
- C. Conflict of Interest
- D. Public Comment
- E. Communication(s)
- F. Business Before the Zoning Board of Appeals
  - 1. Continuation: ZBA 2026-01 requested by Rani Salloum on behalf of Laura Kulinski-Masell; parcel # 05-14-335-012-30, a residentially zoned (R1) parcel, located at 567 Yellow Birch Dr, Kewadin MI, for a 50 ft front yard variance to construct a single family dwelling in the required 50 ft wetland setback
- G. Public Comment
- H. Summary of Action items before next ZBA Meeting

Next meeting: April 15, 2026
- I. Adjournment

Date: 02.11.2026  
From: Sara Kopriva, AICP  
To: Torch Lake Zoning Board of Appeals  
Project: ZBA 2026-01, 567 Yellow Birch Variance

**Request:**

The applicant is requesting a variance from the wetland setback regulations to construct a single family dwelling. The parcel is currently vacant.



Legal notice published January 29, 2026 in the Elk Rapids News and 300 ft mailings sent on February 3, 2026.

**Relevant Sections of Ordinance:**

3.4.3 R-1 Dimensional Standards

Principal Structure Front Setback	50 feet minimum
Principal Structure Side Setback	10 feet minimum
Maximum Lot Coverage	30%
Minimum Ground Floor Area	960 sq ft
Minimum Horizontal Dimensions	20 ft x 20 ft

**4.2.2 Applicability**

The standards of the Waterfront Overlay District shall apply to all private development and/ or use of the portion of a lot or parcel within:

- A. Fifty (50) feet of the ordinary high water mark of Lake Michigan.
- B. Fifty (50) feet of the water's edge of Torch Lake.
- C. Fifty (50) feet of the normal stream bank of natural and built watercourses such as streams, rivers, channels, and established wetlands.

**4.2.4 Structure Regulations**

Except as provided herein, no structures or fences shall be allowed within the Waterfront

Beckett & Raeder, Inc.  
535 West William, Suite 101  
Ann Arbor, MI 48103

Petoskey Office  
113 Howard Street  
Petoskey, MI 49770

Traverse City Office  
148 East Front Street, Suite 207  
Traverse City, MI 49684

Toledo  
419.242.3428 ph

734 663.2622 ph  
734 663.6759 fx

231 347.2523 ph  
231 347.2524 fx

231 933.8400 ph  
231 944.1709 fx

Overlay District except as allowed in this section. All structures shall comply with side setback requirements.

- A. One stairway with a maximum width of forty eight (48) inches per parcel with a maximum of one (1) structure per one hundred (100) feet of water frontage is allowed in the district. The stairway may include landing(s) with a width not exceeding 48 inches and an area(s) not exceeding 48 square feet.
- B. Ground level walkways with a maximum width of 48 inches are allowed in district. Walkways may reasonably traverse gullies, ditches, dune ridges, and other such depressions at a height more than ground level if they meet Antrim County building code requirements for safety and do not impede pedestrian travel along the shore of Lake Michigan.

 *initiative*

**Background:**

Property Address:  
567 Yellow Birch

Parcel Number:  
05-14-335-012-30

Zoning:  
R-1



**Criteria:**

11.9 VARIANCES

The ZBA shall have authority in specific cases to authorize one or more dimensional or “non-use” variances from the strict letter and terms of this Ordinance by varying or modifying any of its regulations or provisions so that the spirit of this Ordinance is observed, public safety secured, and substantial justice done. Use variances shall be prohibited. A dimensional or non-use variance allows a deviation from the dimensional (i.e., height, bulk, setback) requirements of the Ordinance. The ZBA may grant a requested “non-use” variance only upon a finding that practical difficulties exist. A finding of practical difficulties is when the applicant has demonstrated all of the following:

 *initiative*

- A. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters, will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.
- B. The variance requested is the minimum variance needed to provide substantial relief to the applicant and be fair to other property owners and be consistent with the spirit of the ordinance.
- C. The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.
- D. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, not by the applicant or the applicant’s predecessors.

# Torch Lake Township

## Zoning Board of Appeals

### Zoning Ordinance Regulation Variance Checklist & Findings of Fact Worksheet

Date: February 18, 2026

Case Number: ZBA 2026-01 567 Yellow Birch

#### NOTE:

- It is the applicant's responsibility to prove a practical difficulty. It is not the job of the ZBA to find the practical difficulty for the applicant.
- A non-conforming condition or conditions on neighboring lands may be considered but will not in and of itself or themselves be grounds for the issuance of a variance.
- **CONDITIONS OF APPROVAL** – In authorizing a variance, the ZBA may, in addition to the specific conditions of approval called for in the Torch Lake Township Zoning Ordinance, attach thereto such other conditions regarding location, character, landscaping or treatment reasonably necessary to the furtherance of the intent and spirit of this Ordinance and the protection of the public interest.

#### General Findings of Fact:

1. Property is zoned R-1 and is a vacant lot
2. Rear setback of 35 ft is on the road side of the property and front of 50 ft is on the water side.
3. Due to Lake Michigan frontage and wetlands the property is subject to Waterfront Overlay District Regulations
- 4.

#### CRITERIA TO SUBSTANTIATE A PRACTICAL DIFFICULTY

- A. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters, will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.

#### Findings of Fact relevant to criteria A:

Strict compliance with setbacks will eliminate building area on the site. This criteria has been met.

- B. The variance requested is the minimum variance needed to provide substantial relief to the applicant and be fair to other property owners and be consistent with the spirit of the ordinance.

Findings of Fact relevant to criteria B:

- C. The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.

Findings of Fact relevant to criteria C:

The extent of the wetlands on the site is unique not allowing for a reasonable building envelope. This criteria has been met.

- D. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, not by the applicant or the applicant's predecessors.

Findings of Fact relevant to criteria D:

The problem has not been self created, this is a vacant lot, and wetlands are a natural pre-existing feature.

Additional Findings of Fact:

Notes/Questions:

**NOTICE OF APPEAL FORM  
TORCH LAKE TOWNSHIP  
ZONING BOARD OF APPEALS  
(Revised 11.19.2024)**

Torch Lake Township  
Zoning Board of Appeals  
PO Box 713  
Eastport, Michigan 49627  
231-599-2036  
231-599-2981 Fax

FOR OFFICE USE ONLY  
Appeal Number: ZBA 2026-01  
Appeal Category:  
a. Variance: \_\_\_\_\_  
b. Interpretation: \_\_\_\_\_  
c. Appeal of a Decision: \_\_\_\_\_  
Date ZA received appeal: \_\_\_\_\_  
Date ZA inspected property: \_\_\_\_\_  
Date ZA verified completeness of appeal form: \_\_\_\_\_  
Date ZBA received completed form : \_\_\_\_\_  
Fee Received: Amt: \$ \_\_\_\_\_  
Date: \_\_\_\_\_  
HEARING DATE: \_\_\_\_\_  
APPROVED: \_\_\_\_\_ DENIED: \_\_\_\_\_  
APPROVED, WITH CONDITIONS: \_\_\_\_\_

**Before you begin filling out this form.....**

**Read through the “Guidelines - Appeal Application” included with this appeal form.** We are strict about compliance with these guidelines because they help us to better understand your request. Failure to accurately complete this form WILL RESULT in a delay to this process. If there is any part of the guidelines or application that you do not understand, do not hesitate to contact the Zoning Administrator with your questions(s). Because it is unusual for an applicant not to have questions before completing this form, we recommend that you start this process as soon as you know you will be seeking an appeal. If a question does not apply to your request, mark the form N/A. Add extra sheets as necessary to explain the request.

A site plan drawn to scale, showing lot, setback, and building lines, significant angles and dimensions, and other details relevant to the matter (waterfront, well and septic locations, roads, topographic features, front side and bird’s eye views of proposed structures, easements, etc. when applicable.)

**1. Applicant Information:**

Rani Salloum

First Name <u>51313 Plymouth Ridge Dr</u>	Middle Initial	Last Name
Number <u>Plymouth</u>	Street <u>MI</u>	Apt. Number <u>48170</u>
City	State	Zip Code
Home Phone: <u>734-927-2378</u> Work Phone: _____ E-Mail: <u>ranisalloum@gmail.com</u>		
Area Code/Number	Area Code/Number	

**2. Reason for Appeal—Check one of the following:**

- A.  **Zoning Variance:** Complete Sections 1, 2, 3, 4 and 5
- B.  **Zoning Ordinance Interpretation:** Complete Sections 1, 2 and 6
- C.  **Appeal of Zoning Administrator’s Decision:** Complete Sections 1, 2, 3 and 6 (Completed Appeal Form must be submitted within thirty (30) calendar days after decision that is be appealed.)

**3. Property Information (add additional sheets if necessary):**

Property Address: 567 Yellow Birch Dr  

Number	Street	
<u>Kewadin</u>	<u>MI</u>	<u>49648</u>
City	State	Zip Code

Property Tax ID # 05-14-335-012-30

Platted (Registered Subdivision) name Yellow Birch Cove

Un-platted name (if any) N/A

List any deed restrictions that are affected by this request and attach a copy of same.

N/A

Directions to the property: (begin at intersection of US 31 and M 88)

Head West off of US-31, down Creswell Rd. At West end of Creswell Rd, turn North onto S Golden Beach Dr. That will terminate into Yellow Birch Dr.

Names, addresses and phone numbers of all persons having a legal or equitable interest in the property. (Appeals must be signed by the owners of record or an agent authorized in writing [attach copy] by the owners of record).

Laura Kulinski-Masell - Owner. Agent Authorization to Rani Salloum is attached

Current zoning of the property: R-1

Current use of the property:

Vacant residential parcel under contract for construction of a single-family dwelling

**4. Zoning Variance**

The ZBA shall have authority in specific cases to authorize one or more dimensional or “non-use” variances from the strict letter and terms of this Ordinance by varying or modifying any of its regulations or provisions so that the spirit of this Ordinance is observed, public safety secured, and substantial justice done. Use variances shall be prohibited. A dimensional or non-use variance allows a deviation from the dimensional (i.e., height, bulk, setback) requirements of the Ordinance. The ZBA may grant a requested “non-use” variance only upon a finding that practical difficulties exist. A finding of practical difficulties is when the applicant has demonstrated all of the following:

- A. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters, will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.
- B. The variance requested is the minimum variance needed to provide substantial relief to the applicant and be fair to other property owners and be consistent with the spirit of the ordinance.
- C. The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.
- D. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, not by the applicant or the applicant's predecessors.

5. **Variance request details including reasons for the same.**

- A. State in detail the variance from the zoning that you are seeking. Reference that part of the zoning ordinance to which your request applies.

We are requesting a dimensional variance from the required 50-foot wetland setback to allow a 0-foot setback for the placement of a single-family dwelling on the subject parcel.

---



---



---

- B. State, in detail, the reason(s) for the variance. Include any and all scale drawings and other information necessary to understand the request. (Use additional pages if necessary).

Due to the location and extent of regulated wetlands on the property, strict enforcement of the 50-foot wetland setback renders the parcel unbuildable for any permitted residential use. The subject parcel is significantly constrained by the location and extent of regulated wetlands, which occupy the majority of the buildable area when the required 50-foot wetland setback is applied. As a result, strict compliance with the setback requirement eliminates any reasonable location for a single-family dwelling on the lot.

The proposed home location on the site plan represents the only feasible area where a residence can be constructed.

I am also concurrently pursuing all required state approvals, including a wetland permit from the Michigan Department of Environment, Great Lakes, and Energy (EGLE), and no construction will occur without receipt of all applicable state and local permits

---

- C. State in detail how you believe you satisfy each of the following four criteria. All four conditions must be met in order to receive a variance.

1. Strict compliance with restrictions governing area, setback, frontage, height, bulk,

density or other non-use matters, will unreasonably prevent my use of the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome, because:

Strict compliance with the 50-foot wetland setback requirement unreasonably prevents us from using the property for a permitted single-family residential purpose.  
When applied to the subject parcel, the setback eliminates all buildable areas due to the size, configuration, and location of wetlands on the property, rendering the lot unbuildable without the requested variance.

---

---

2. The variance I am requesting is the minimum variance needed to provide substantial relief and be fair to other property owners and be consistent with the spirit of the ordinance, because:

The variance requested is the relief necessary to allow residential use of the property.  
The proposed home location represents the only feasible building site on the parcel. No greater deviation from the Ordinance is requested than is necessary to permit construction of a single-family dwelling

---

---

3. The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district, because:

The need for the variance is due to unique physical conditions specific to the subject parcel, including the extent, configuration, and placement of regulated wetlands within the lot boundaries. These conditions are not generally applicable to other properties in the same zoning district and substantially limit the buildable area in a manner that is unique to this property.

---

---

4. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, not by myself or my predecessors, because:

The practical difficulty necessitating the variance was not created by myself. The wetlands and resulting constraints existed prior to my involvement with the property, and to preexisting natural conditions on the site.

---

---

---

---

6. **Zoning Ordinance Interpretation/Appeal of Zoning Administrator’s Decision** [Not for use with variance appeals]. Be sure to include the following information:

- a. Zoning Ordinance Chapter(s), Title(s) and Sections that are in question.
- b. Detailed explanation and history of request.
- c. Clearly stated explanation of what you believe to be incorrect or open to interpretation.

---

---

---

---

---

---

The applicant(s) agrees and certifies that the information supplied in this application is accurate and true. This includes any additional material introduced before a final decision related to this appeal is rendered by the Zoning Board of Appeals. The applicant(s) understand that they are solely responsible for all material submitted. The Zoning Board of Appeals will be held harmless for any decision or finding based on inaccurate information or documents which do not include all pertinent information or which do not truthfully or fully represent the facts and conditions related to the request.

Further, it is understood by the applicant that, in signing this application form, he/she is allowing reasonable access to the property to which this application applies for both initial inspection(s) and subsequent/final inspections to ensure compliance. Please make sure all property lines are clearly marked and if on Grand Traverse Bay, the Ordinary Highwater Mark (OHWM 580.5’) is staked. In addition, if the applicant is not the owner of the property, he/she must have permission, in writing, of the owner to carry out the application requirements of the variance request. The owner’s written permission is to be included with this application.

**Return this completed form to the Zoning Administrator at least 45 days prior to the scheduled hearing.**

**Be Aware.....**

Zoning permits issued by the Torch Lake Township Zoning Administrator and zoning variance requests approved by the Torch Lake Township Zoning Board of Appeals for properties located in Torch Lake Township are not to be construed to be the only necessary permits for the intended activity in Torch Lake Township. Property owners are responsible for determining and obtaining from the various governmental agencies all necessary permits for the intended activity. These may include county permits covering soil erosion, building, wetlands and county road access. State of Michigan permits may include wetland permits, high-risk erosion permits for properties along Lake Michigan, critical dune permits and various permits associated with commercial development. An Army Corps of Engineers permit may be required for activities that effect wetlands along Lake Michigan. The coordination of such permits is also the responsibility of the property owner. Torch Lake Township is not responsible for any other such permits.

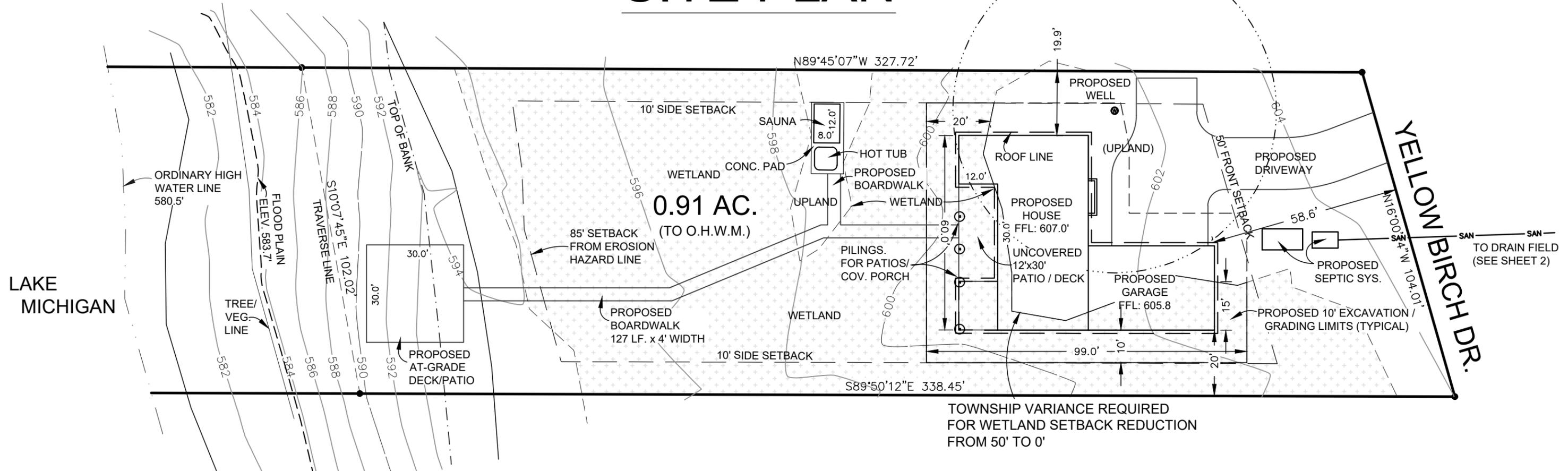
**SITE PLAN DRAWING REQUIREMENT:**

To the Applicant: Provide a drawing that shows the dimensional variation from zoning that you are seeking. Members of the ZBA, because of their experience, may have a more conforming, and often better, way for you to obtain the variance sought. To do this requires, what may seem to you, more information than you feel is needed. When done with the drawing, you might show the drawing to the Zoning Administrator for his/her input. Incomplete or lacking information can result in delays.

The property shall be staked to show the property lines and the construction that the variance request is associated with. By signing this application, you agree for the ZBA members, staff, and representatives to access the property to review the request. When on the property, the ZBA members are not able to discuss the application or request with property owners or neighbors.

Owner Signature (All Owners Must Sign)	Date
Owner Signature	Date
<i>Rani Sallowm</i>	12/19/25
Authorized Agent/ Representative Signature*	Date
*Attach authorization letter	

# SITE PLAN



**SITE DATA:**

PARCEL ID: 05-14-335-012-30  
 PARCEL ADDRESS: 567 YELLOW BIRCH DR.  
 KEWADIN, MI 49648

ZONING DISTRICT: R1 - SINGLE FAMILY RESIDENTIAL

**SETBACKS:**

FRONT: 50'  
 SIDE: 10'  
 WATER: 50'

**DESCRIPTION AS FURNISHED:**

**PARCEL A**

COM AT NE COR OF SEC 35; TH N 88 DEG W 1320 FT ALG N SEC LINE TO E LINE OF GOV LOT 1; TH S 00 DEG W 2713.72 FT TO S LINE OF GOV LOT 2; TH S 89 DEG W 660.05 FT TO W LINE OF E 660 FT OF GOV LOT 2; TH E 660 FT; TH N 00 DEG E 250.04 FT; TH S 89 DEG W 74.20 FT TO WLY LINE OF 30 FT WIDE ESMT; TH N 65 DEG E 61.88 FT ALG ESMT; TH N 16 DEG W 76.90 FT FOR POB; TH S 89 DEG W 338.01 FT TO SHORE OF GRAND TRAVERSE BAY; TH N 10 DEG W 101.65 FT ALG SHORE; TH N 89 DEG E 327.63 FT TO WLY LINE OF ESMT; TH S 16 DEG E 104.01 FT TO POB; BEING PART OF GOV LOT 2 SEC 35 T31N R9W 0.764 A M/L.

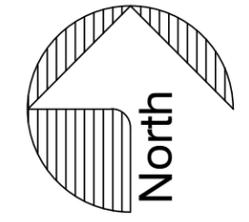
NOTE: UNDERGROUND UTILITIES SUPPLYING SAUNA AND HOT TUB TO BE INSTALLED BY DIRECTIONAL BORE

**AREA CALCULATIONS:**

HOUSE/GARAGE ROOF: 3,360 SF  
 BOARDWALK OVER WETLAND: 127 L.F.

WETLAND DREDGE VOLUME: 62 C.Y.  
 WETLAND FILL VOLUME: 248 C.Y.

AREA DREDGE: 3,322 SF. (AVG. 6" DEPTH)  
 AREA FILL: 3,322 SF. (AVG. 24" DEPTH)



SCALE: 1" = 30'  
 CONTOURS SHOWN ARE AT ONE FOOT INTERVALS

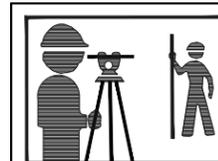
ELEVATIONS ARE ON AN NAVD88 DATUM

**Legend**

- IRON SET
- IRON FOUND
- ⊙ MONUMENT FOUND
- △ NAIL SET
- ▲ NAIL FOUND
- ⊕ GOVERNMENT 1/4 CORNER
- SECTION CORNER
- ⊕ CENTER 1/4 CORNER
- (R) RECORD
- (M) MEASURED



Jesse E. Mitchell  
 Professional Surveyor No. 4001054433



**Bob Mitchell & Associates**

SURVEYING / ENGINEERING  
 404 West Main Street P.O. Box 306  
 Kingsley, MI 49649  
 (231) 263-5463 • FAX (231) 263-7921  
 Toll Free in Michigan 1-800-533-6627  
 www.mapcivilsurvey.com

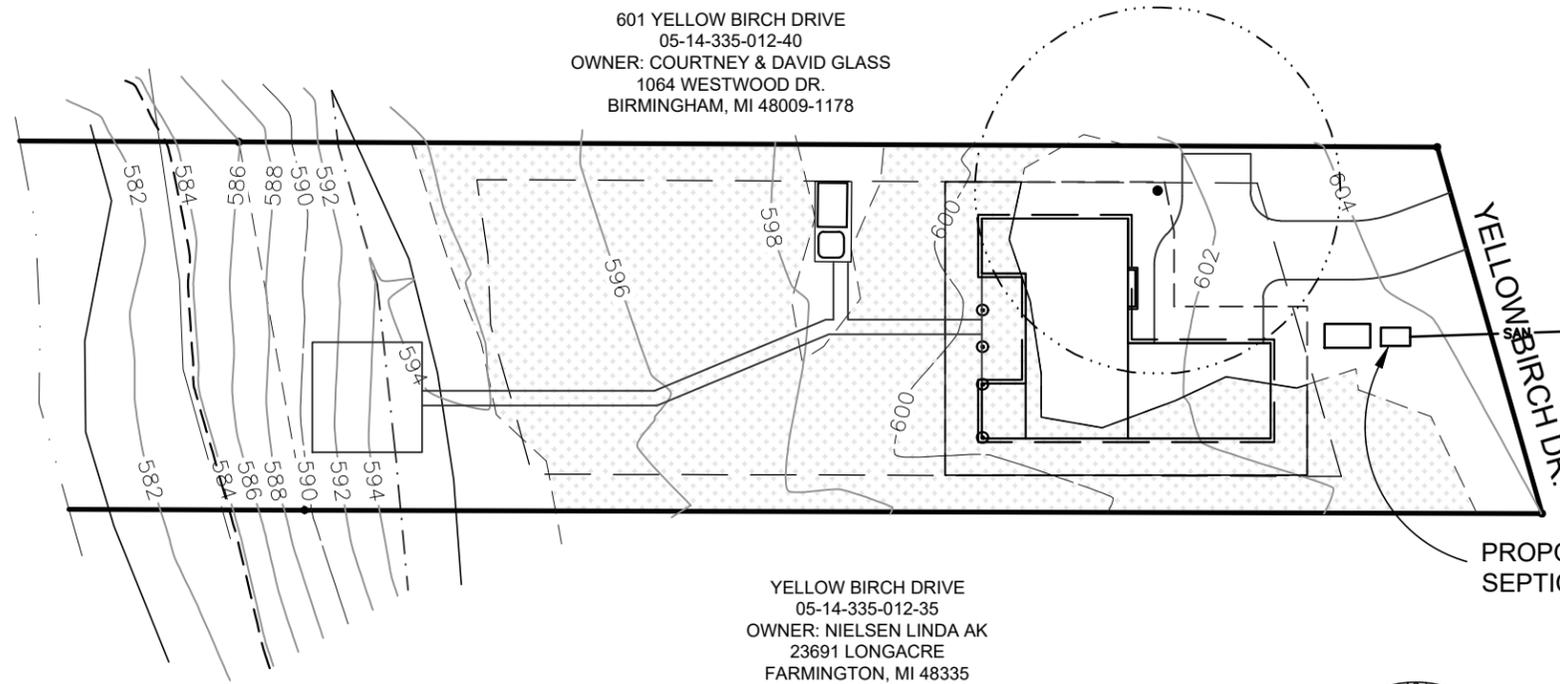
BASIS OF BEARING: NAD 83 MISPCS CENTRAL ZONE

CLIENT: RANI SALLOUM		
LOCATION: PART OF GOV'T LOT 2, SECTION 35, TOWN 31 NORTH, RANGE 9 WEST, TORCH LAKE TOWNSHIP, ANTRIM COUNTY, MICHIGAN.		
DWN. MJC	DATE 1/30/2026	FILE NO. 20250507
CK. JEM	FLD. BK. X PG. X	SHEET 1 OF 2

# SITE PLAN

601 YELLOW BIRCH DRIVE  
05-14-335-012-40  
OWNER: COURTNEY & DAVID GLASS  
1064 WESTWOOD DR.  
BIRMINGHAM, MI 48009-1178

LAKE MICHIGAN



YELLOW BIRCH DRIVE  
05-14-335-012-35  
OWNER: NIELSEN LINDA AK  
23691 LONGACRE  
FARMINGTON, MI 48335

PROPOSED SEPTIC TANKS

±375 LF 2" SCH. 80 FORCEMAIN

511 N GOLDEN BEACH  
05-14-335-014-01  
OWNER: MAGENNIS DEBORAH A REV TRUST  
511 N GOLDEN BEACH  
KEWADIN, MI 49648

GRADING LIMITS

PROPOSED HOUSE

FFL: 607.0

6" POURED WALL

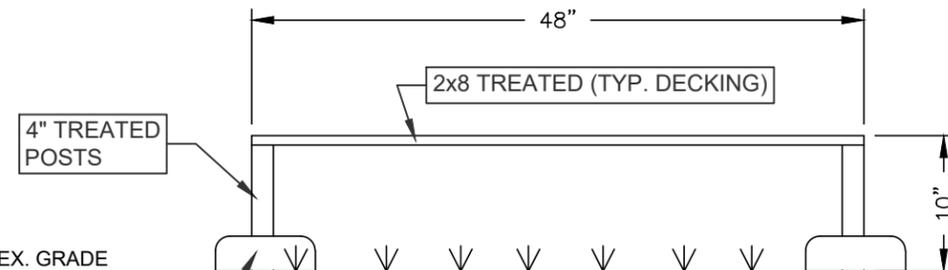
CRAWLSPACE

TOP OF FOOTING: 601.0

24"x12" FOOTING

BUILDING SECTION

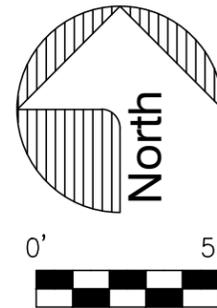
1"=5'



EX. GRADE

BOARDWALK / DECK SECTION  
NO SCALE

"CAMO BLOCK"  
FOUNDATION  
BLOCKS



- Legend**
- IRON SET
  - IRON FOUND
  - ⊙ MONUMENT FOUND
  - △ NAIL SET
  - ▲ NAIL FOUND
  - ⊕ GOVERNMENT 1/4 CORNER
  - SECTION CORNER
  - ⊕ CENTER 1/4 CORNER
  - (R) RECORD
  - (M) MEASURED

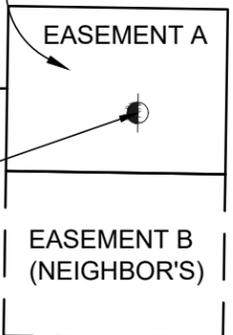
SCALE: 1" = 50'  
CONTOURS SHOWN ARE AT  
TWO FOOT INTERVALS  
ELEVATIONS ARE ON AN NAVD88 DATUM  
BASIS OF BEARING: NAD 83 MISPCS CENTRAL ZONE



Jesse E. Mitchell  
Professional Surveyor No. 4001054433

TEST HOLE  
LATITUDE: N45° 02' 31.3345"  
LONGITUDE: W85° 22' 37.9507"

PROPOSED 25'x40' DRAIN FIELD  
RECORDED LIBER 314, PAGE 35, 2011

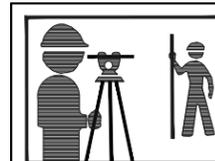


BASIS OF BEARING: NAD 83 MISPCS CENTRAL ZONE

CLIENT:  
RANI SALLOUM

LOCATION:  
PART OF GOV'T LOT 2, SECTION 35,  
TOWN 31 NORTH, RANGE 9 WEST,  
TORCH LAKE TOWNSHIP,  
ANTRIM COUNTY, MICHIGAN.

ALTERATION OF ANY PART OF THIS DOCUMENT WITHOUT THE  
PERMISSION OF MITCHELL & ASSOCIATES, PC, IS PROHIBITED.



**Bob Mitchell & Associates**

SURVEYING / ENGINEERING  
404 West Main Street P.O. Box 306  
Kingsley, MI 49649  
(231) 263-5463 • FAX (231) 263-7921  
Toll Free in Michigan 1-800-533-6627  
www.mapcivilsurvey.com

DWN. MJC	DATE 1/30/2026	FILE NO. 20250507
CK. JEM	FLD. BK. X	PG. X
		SHEET 2 OF 2



# FORGE HOMES

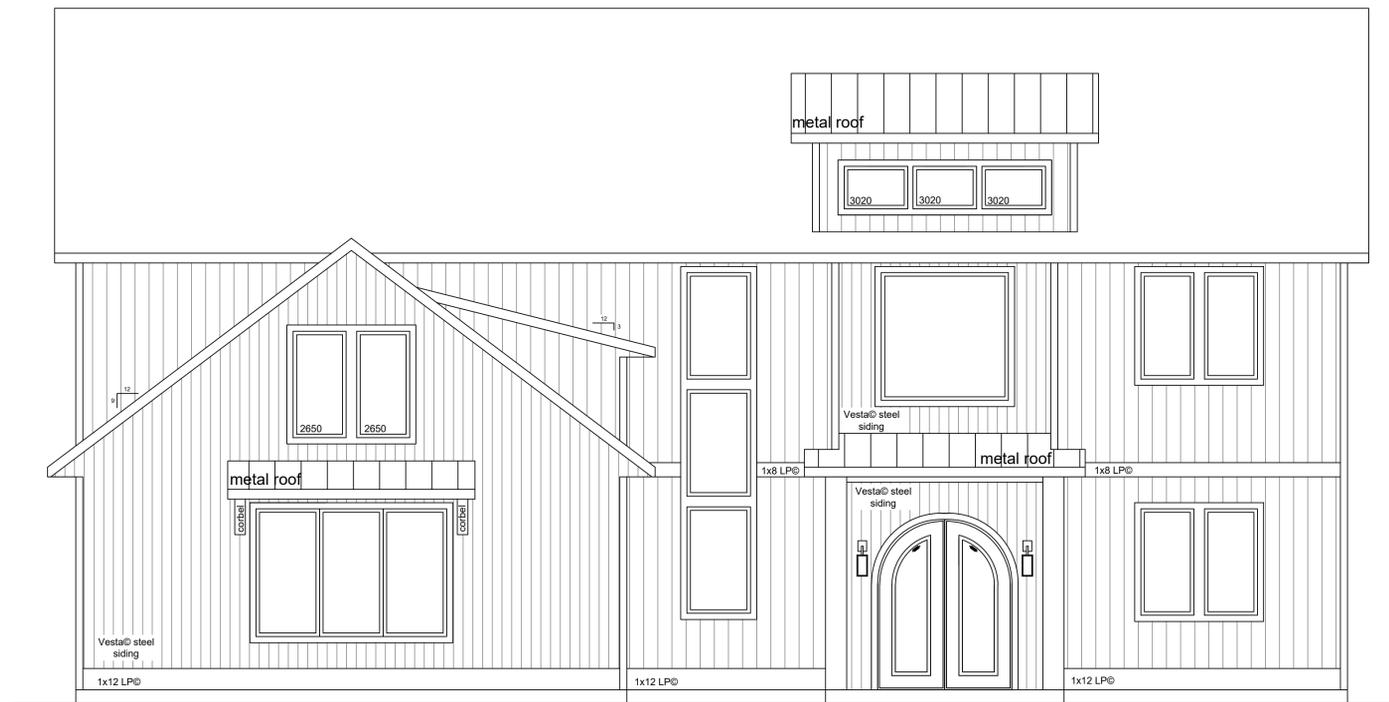
DRAWN BY:  
Cam Van Koevering  
Kyle Glass  
Forge Homes LLC

PROJECT:  
SALLOUM

PARCEL:  
567 Yellow Birch Dr  
Kewadin, MI 49648  
PP # 05-14-335-012-30

General Notes:

- 1x4 LP© Trim corners throughout
- 1x4 LP© Trim around all doors & windows & overhead doors
- LP© Trim bands per layout
- LP© B&B siding per layout
- Vinyl B&B all other siding areas



East Elevation



West Elevation

DATE  
12/4/2025

SCALE  
 $\frac{1}{4}'' = 1'$

SHEET  
FRONT / REAR  
ELEVATIONS



# FORGE HOMES

DRAWN BY:  
Cam Van Koevering  
Kyle Glass  
Forge Homes LLC

PROJECT:  
SALLOUM

PARCEL:  
567 Yellow Birch Dr  
Kewadin, MI 49648  
PP # 05-14-335-012-30

General Notes:

- 1x4 LP® Trim corners throughout
- 1x4 LP® Trim around all doors & windows & overhead doors
- LP® Trim bands per layout
- LP® B&B siding per layout
- Vinyl B&B all other siding areas



DATE  
12/4/2025

SCALE  
 $\frac{1}{4}'' = 1'$

SHEET

SIDE  
ELEVATIONS

**ROOF STRUCTURE**

- FIBERGLASS BLEND SEAL DOWN SHINGLES
- ALUM. STEP FLASHING @ ALL ROOF TO WALL INTERSECTIONS
- (2) ROWS OF 36" ICE & WATER SHIELD ON HORIZ. EAVES (TYPICAL)
- ANY 2x6 RAFTER OVER 7'-11" TO BE BRACED TO TRUSS PER MANUFACTURER
- ATTIC ACCESS W/ WEATHER STRIP GASKET & R30 BATT. ATTACHED
- 15# FELT TYPICAL OR EQUIV. OVER ENTIRE ROOF
- 7/16" O.S.B. ROOF SHEATHING
- ENG. TRUSSES @ 24" O.C.
- R-38 CEILING INSULATION
- 5/8" CEILING DRYWALL

**FLASHING / OTHER**

- ALL HORIZ. TRIM PROJECTIONS TO HAVE METAL DRIP FLASHING
- TYVEK WINDOW TAPE ALL WND. & DOOR OPENINGS
- WEEP SCREED TO BE INSTALLED @ BASE OF WALL @ ALL MASONRY 2" ABOVE CONC. & 4" ABOVE GRADE
- 2 1/4" R-9 OPEN CELL INSUL. @ JOIST RIM BD. OR EQUIV.

**EXTERIOR WALLS (HOUSE)**

- TYVEK HOUSE WRAP
- EXTERIOR SIDING/ MASONRY
- 7/16" OSB (CS BRACING METHODOLOGY)
- #2 BTR 2x4 OR 2x6 STUDDING @ 16" O.C.
- 1.5" CLOSED CELL SPRAY FOAM AGAINST OSB. FOLLOWED BY 4" NUWOOL CELLULOSE (R-21) REST OF STUD BAY
- SPRAY INSULATION, AROUND ALL WINDOW & DOOR OPENINGS
- 1/2" DRYWALL
- INTERIOR PAINT

**EXTERIOR WALLS (GARAGE)**

- TYVEK HOUSE WRAP
- EXTERIOR SIDING/ MASONRY
- 7/16" OSB (CS BRACING METHODOLOGY)
- #2 BTR 2x6 WALL STUDS @ 16" O.C.
- TREATED BOTTOM PLATES
- 7/16" OSB ADJACENT TO ALL LIVING SPACE
- DRYWALL @ CEILING & ALL FACES OF SUPPORTING STRUCTURES IN GARAGE
- DOOR BETWEEN HOUSE AND GARAGE TO HAVE 20 MIN. FIRE RATING

**FOUNDATION/ SLAB**

- ALL POURED FOUNDATION WALL FOOTINGS TO BE MIN. 3'-6" BELOW FINISHED GRADE
- 2x4's 24" O.C. @ PG WALLS w/UNFACED (3 1/2", R13) INSULATION & NETTING OR NUWOOL CELLULOSE ECOCELL PANELS
- (1) #4 CONT. BAR @ MID-STORY OF WALL AND (1) #4 BAR WITHIN 12" OF TOP OF WALL
- 1/2" FOUNDATION BOLTS, MAX. 6'-0" SPACING, MIN. 2 PER WALL SECTION, WITHIN 12" OF PLATE CORNER & PLACED MIDDLE THIRD OF PLATE WIDTH (OR EQUIVALENT)
- BACKFILL NO HIGHER THAN 6" BELOW T.O.W.
- 6 MIL. VAPOR BARRIER UNDER BSMT. SLAB
- TREMCO® TUFF-N-DRI H8 WATERPROOF MEMBRANE @ EXT. SIDE OF FOUNDATION WALLS FROM FOOTING TO GRADE
- THERMAL TRAIN BOARD (R-10) APPLIED ON TOP OF FOUNDATION WATERPROOFING
- Foundation Drainage will be 4" corrugated sock tile covered with clean sand. Around entire exterior and interior footings of living space

- Thermal Train Board (R-10) Applied on top of foundation waterproofing
- Foundation Drainage will be 4" corrugated sock tile covered with clean sand. Around entire exterior and interior footings of living space

**STRUCTURE**

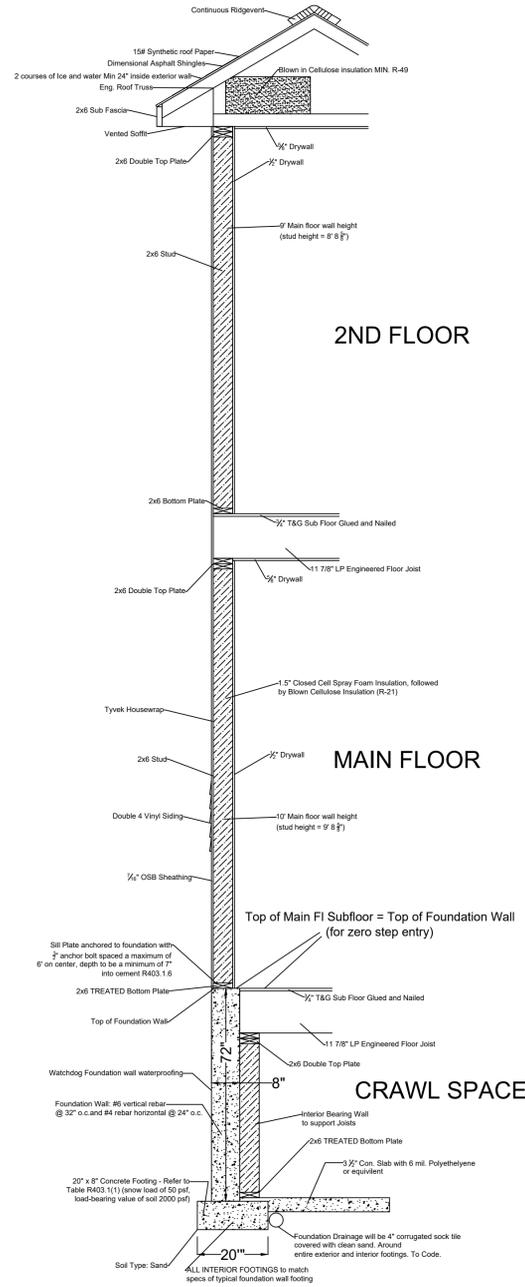
- (2) JACK STUDS REQUIRED ON HEADERS W/OPENINGS GREATER THAN 4'-0" WIDE
- 6 MIL. VAPOR BARRIER UNDER BSMT. FLOOR
- MICHIGAN ROOM WALLS TO BE CONNECTED TO HOUSE STRUCTURE W/ APPROVED CONNECTORS

**EGRESS/ SAFETY**

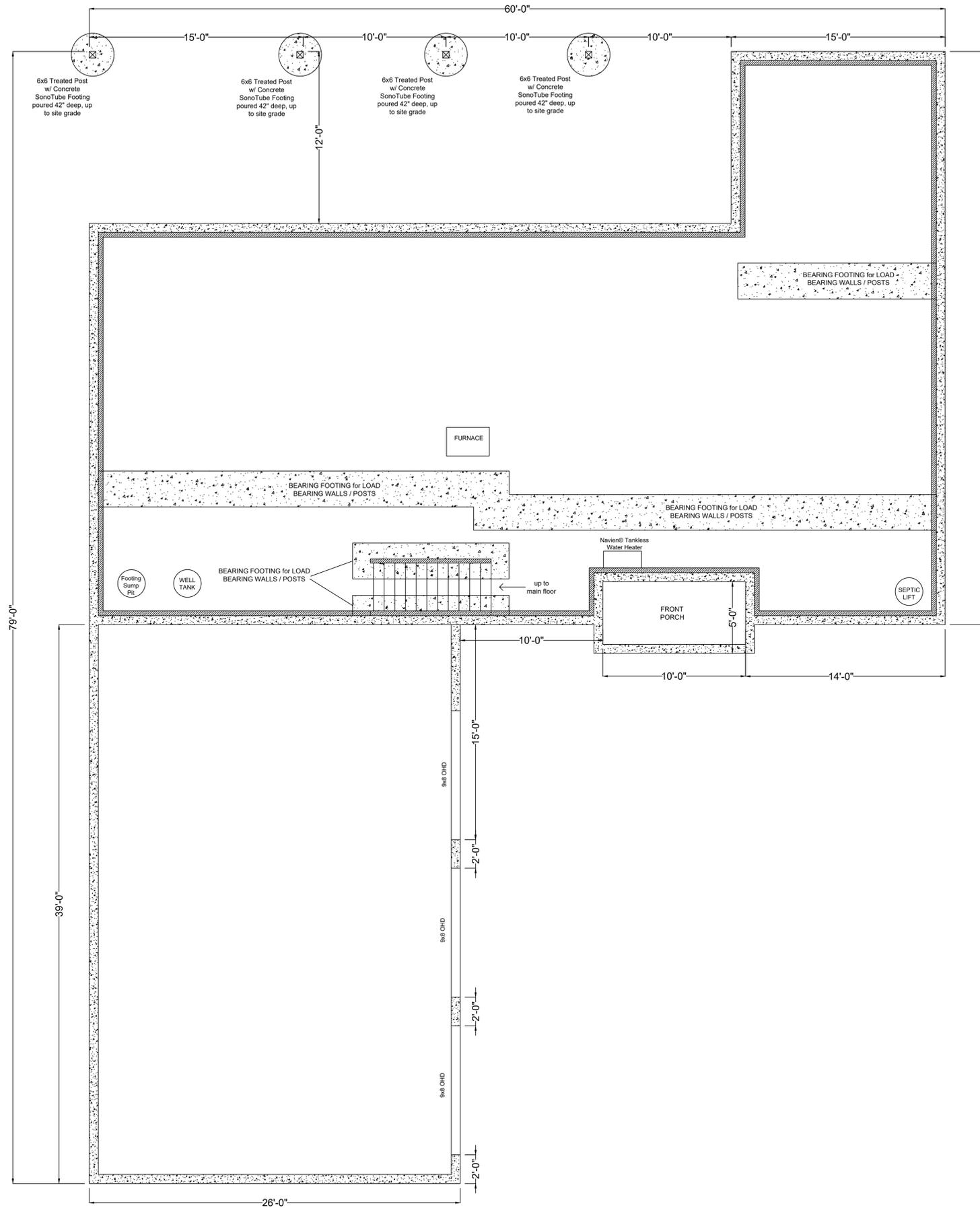
- ALL WINDOW SILLS 6" OR MORE ABOVE GRADE TO BE MIN. 24" FLOOR TO FINISHED SILL HT. OR HAVE APPROVED HARDWARE TO LIMIT OPENING

**EXTERIOR**

- FLASHING AND ICE & WATER SHIELD (2 ROWS) AT A MINIMUM OF 36" ON HORIZONTAL EAVES (TYP.)
- INSTALL GUTTERS & DOWNSPOUTS TO ENTIRE HOME
- ALUM FASCIA AND SOFFIT (VENTED @ EAVES)



Wall Cross Section - Scale 1/2" = 1'



**FORGE**  
HOMES

DRAWN BY:  
Cam Van Koevering  
Kyle Glass  
Forge Homes LLC

PROJECT:  
SALLOOM

PARCEL:  
567 Yellow Birch Dr  
Kewadin, MI 49648  
PP # 05-14-335-012-30

**General Notes:**

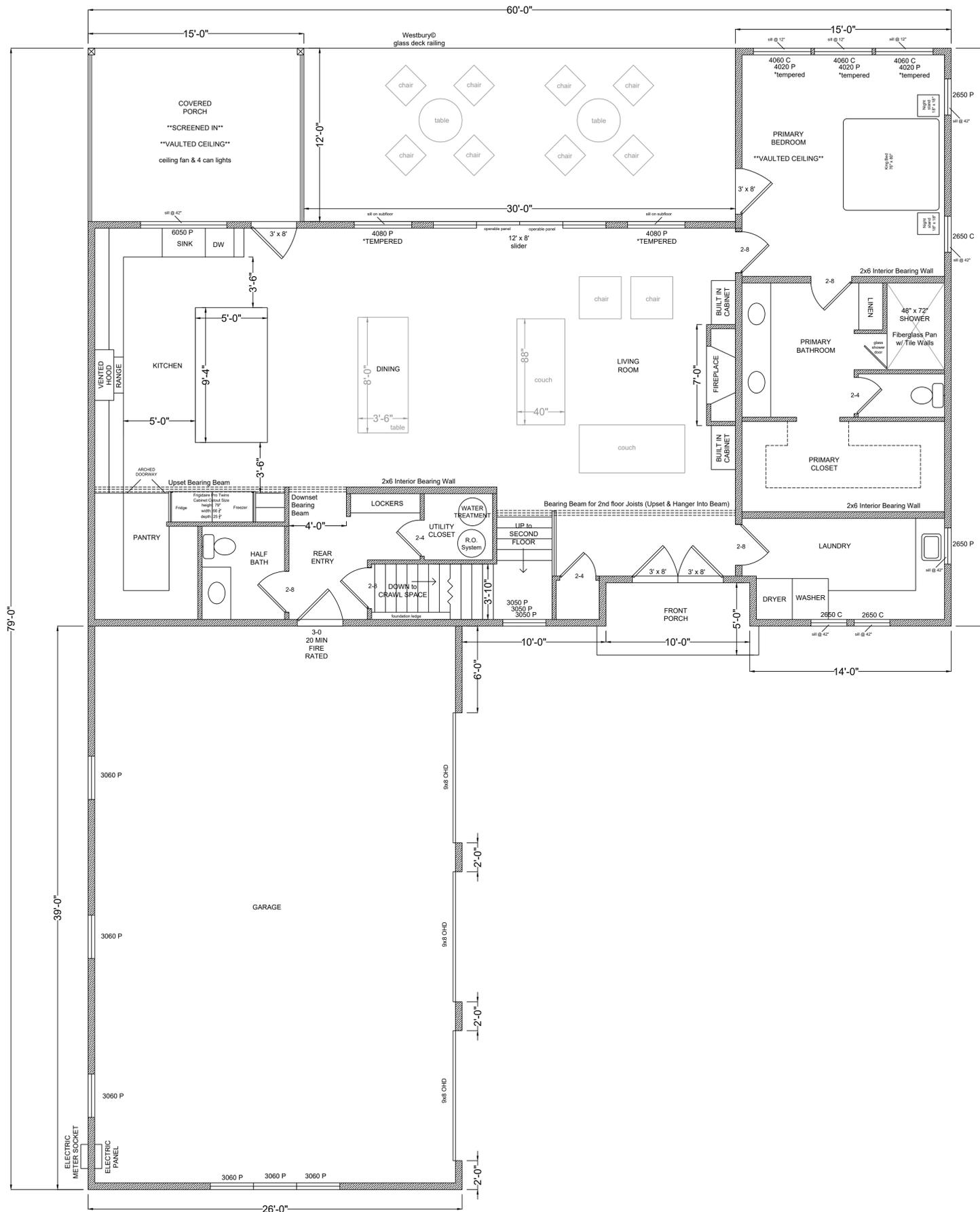
- Crawl Space Foundation
- 6' Foundation Wall Height
- ZERO ENTRY into home
- Frame bearing wall around perimeter of basement, so that top of main floor subfloor equals top of foundation wall.

DATE  
12/4/2025

SCALE  
1/4" = 1'

SHEET

**FOUNDATION**



# FORGE HOMES

**DRAWN BY:**  
Cam Van Koevinger  
Kyle Glass  
Forge Homes LLC

**PROJECT:**  
SALLOOM

**PARCEL:**  
567 Yellow Birch Dr  
Kewadin, MI 49648  
PP # 05-14-335-012-30

- General Notes:**
- 2x6 Exterior Walls
  - 2x6 Interior Bearing Walls
  - 2x4 Interior Walls
  - 10' Main Floor Wall Height
  - 2 Story open above through Living Room & Dining Area
  - Reverse Osmosis system ran to the sink, fridge, and freezer

Main Floor Finished Footage : 1830 sq ft  
Second Floor Finished Footage : 1650 sq ft

TOTAL Finished Footage : 3480 sq ft

DATE  
12/4/2025

SCALE  
1/4" = 1'

SHEET

## MAIN FLOOR



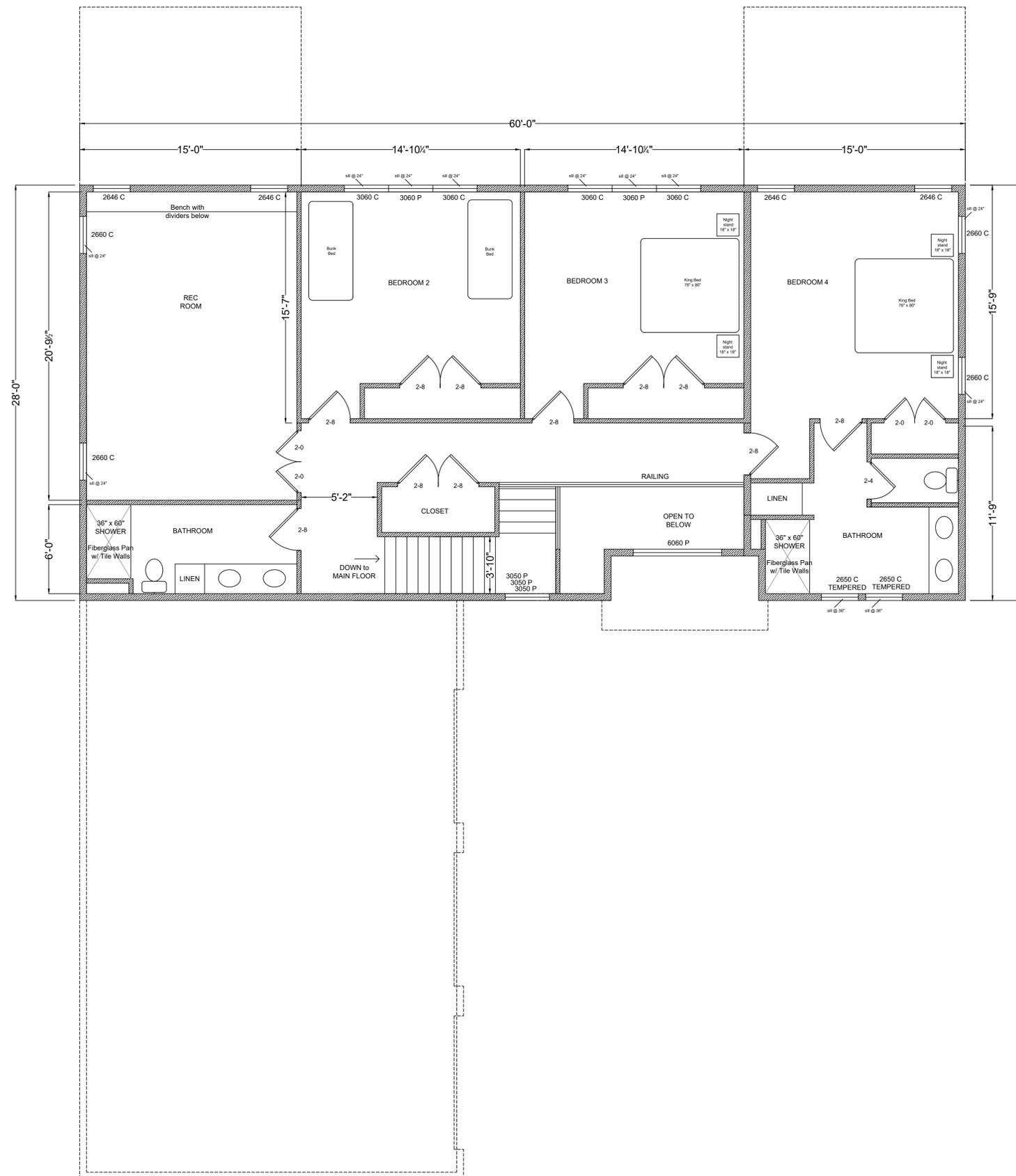
# FORGE HOMES

DRAWN BY:  
Cam Van Koevering  
Kyle Glass  
Forge Homes LLC

PROJECT:  
SALLOUM

PARCEL:  
567 Yellow Birch Dr  
Kewadin, MI 49648  
PP # 05-14-335-012-30

- General Notes:
- 2x6 Exterior Walls
  - 2x4 Interior Walls
  - 9' Second Floor Wall Height



Main Floor Finished Footage : 1830 sq ft  
Second Floor Finished Footage : 1650 sq ft

TOTAL Finished Footage : 3480 sq ft

DATE  
12/4/2025

SCALE  
 $\frac{1}{4}'' = 1'$

SHEET  
**SECOND  
FLOOR**



## NOTICE OF AUTHORIZATION

**Permit Number: WRP048297 v1.0**

**Site Name: 05-567 Yellow Birch Dr-Torch Lake Twp**

**Issued: March 17, 2026**

**Expires: March 17, 2031**

The Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, P.O. Box 30458, Lansing, Michigan 48909-7958, under provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended; specifically:

- Part 303, Wetlands Protection.
- Part 323, Shorelands Protection and Management.

**Authorized activity:**

Remove 62 cubic yards of wetland material from a 3,322 square foot (0.08 acre) area and fill the same area with approximately 248 cubic yards of clean sand fill to facilitate the construction of a single-family, non-readily moveable home and attached garage behind the 60-year setback.

Construct a 4-foot-wide, 127-foot-long boardwalk through wetlands to access the lake-adjacent upland ridge.

All work is to be completed in accordance with the attached approved plans and the specifications of this permit.

Waterbody Affected: Wetlands; High Risk Erosion Area  
Property Location: Antrim County, Torch Lake Township  
Town/Range/Section 31N09W35  
Property Tax No. 05-14-335-012-30

Permittee:  
Rani Salloum  
51313 Plymouth Ridge Dr.  
Plymouth, MI 48170

Keri Kent  
Gaylord District Office  
Water Resources Division  
989-619-2443

*This notice must be displayed at the site of work.  
Laminating this notice or utilizing sheet protectors is recommended.  
Please refer to the above permit number with any questions or concerns.*

**EGLE**  
**WRP048297 v1.0**  
**Approved**  
**Issued On:03/17/2026**  
**Expires On:03/17/2031**



**MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY  
WATER RESOURCES DIVISION  
PERMIT**

---

**Issued To:**

**Rani Salloum  
51313 Plymouth Ridge Dr.  
Plymouth, MI 48170**

**Permit No: WRP048297 v1.0  
Submission No.: HQH-JKQ9-AXFT3  
Site Name: 05-567 Yellow Birch Dr-Torch Lake Twp  
Issued: March 17, 2026  
Expires: March 17, 2031**

**This permit is being issued by the Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, under the provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA); specifically:**

- Part 303, Wetlands Protection**
- Part 323, Shorelands Protection and Management**

**EGLE certifies that the activities authorized under this permit are in compliance with the State Coastal Zone Management Program and certifies without conditions under the Federal Clean Water Act, Section 401 that the discharge from the activities authorized under this permit will comply with Michigan's water quality requirements in Part 31, Water Resources Protection, of the NREPA and associated administrative rules, where applicable.**

**Permission is hereby granted, based on permittee assurance of adherence to State of Michigan requirements and permit conditions, to:**

**Authorized Activity:**

**Remove 62 cubic yards of wetland material from a 3,322 square foot (0.08 acre) area and fill the same area with approximately 248 cubic yards of clean sand fill to facilitate the construction of a single-family, non-readily moveable home and attached garage behind the 60-year setback.**

**Construct a 4-foot-wide, 127-foot-long boardwalk through wetlands to access the lake-adjacent upland ridge.**

**All work is to be completed in accordance with the attached approved plans and the specifications of this permit.**

Waterbody Affected: Wetlands; High Risk Erosion Area  
Property Location: Antrim County, Torch Lake Township  
Town/Range/Section 31N09W35  
Property Tax No. 05-14-335-012-30

**Authority granted by this permit is subject to the following limitations:**

- A. Initiation of any work on the permitted project confirms the permittee's acceptance and agreement to comply with all terms and conditions of this permit.
- B. The permittee, in exercising the authority granted by this permit, shall not cause unlawful pollution as defined by Part 31 of the NREPA.
- C. This permit shall be kept at the site of the work and available for inspection at all times during the duration of the project or until its date of expiration.
- D. All work shall be completed in accordance with the approved plans and specifications submitted with the application and/or plans and specifications attached to this permit.
- E. No attempt shall be made by the permittee to forbid the full and free use by the public of public waters at or adjacent to the structure or work approved.
- F. It is made a requirement of this permit that the permittee give notice to public utilities in accordance with 2013 PA 174 (Act 174) and comply with each of the requirements of Act 174.
- G. This permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights, nor does it waive the necessity of seeking federal assent, all local permits, or complying with other state statutes.
- H. This permit does not prejudice or limit the right of a riparian owner or other person to institute proceedings in any circuit court of this state when necessary to protect his rights.
- I. Notification of project completion and digital photos of the completed project shall be emailed to KentK4@Michigan.gov within 30 days of completion of the project. Staff will use photos to assist in monitoring compliance with your permit.
- J. This permit shall not be assigned or transferred without the written approval of EGLE.
- K. Failure to comply with conditions of this permit may subject the permittee to revocation of permit and criminal and/or civil action as cited by the specific state act, federal act, and/or rule under which this permit is granted.
- L. All dredged or excavated materials shall be disposed of in an upland site (outside of floodplains, unless exempt under Part 31 of the NREPA, and wetlands).
- M. In issuing this permit, EGLE has relied on the information and data that the permittee has provided in connection with the submitted application for permit. If, subsequent to the issuance of a permit, such information and data prove to be false, incomplete, or inaccurate, EGLE may modify, revoke, or suspend the permit, in whole or in part, in accordance with the new information.
- N. The permittee shall indemnify and hold harmless the State of Michigan and its departments, agencies, officials, employees, agents, and representatives for any and all claims or causes of action arising from acts or omissions of the permittee, or employees, agents, or representative of the permittee, undertaken in connection with this permit. The permittee's obligation to indemnify the State of Michigan applies only if the state: (1) provides the permittee or its designated representative written notice of the claim or cause of action within 30 days after it is received by the state, and (2) consents to the permittee's participation in the proceeding on the claim or cause of action. It does not apply to contested case proceedings under the Administrative Procedures Act, 1969 PA 306, as amended, challenging the permit. This permit shall not be construed as an indemnity by the State of Michigan for the benefit of the permittee or any other person.

- O. Noncompliance with these terms and conditions and/or the initiation of other regulated activities not specifically authorized shall be cause for the modification, suspension, or revocation of this permit, in whole or in part. Further, EGLE may initiate criminal and/or civil proceedings as may be deemed necessary to correct project deficiencies, protect natural resource values, and secure compliance with statutes.
- P. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity from EGLE. Such revision request shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by EGLE prior to implementation.
- Q. This permit may be transferred to another person upon written approval of EGLE. The permittee must submit a written request to EGLE to transfer the permit to the new owner. The new owner must also submit a written request to EGLE to accept transfer. The new owner must agree, in writing, to accept all conditions of the permit. A single letter signed by both parties that includes all the above information may be provided to EGLE. EGLE will review the request and, if approved, will provide written notification to the new owner.
- R. Prior to initiating permitted construction, the permittee is required to provide a copy of the permit to the contractor(s) for review. The property owner, contractor(s), and any agent involved in exercising the permit are held responsible for ensuring that the project is constructed in accordance with all drawings and specifications. The contractor is required to provide a copy of the permit to all subcontractors doing work authorized by the permit.
- S. Construction must be undertaken and completed during the dry period of the wetland. If the area does not dry out, construction shall be done on equipment mats to prevent compaction of the soil.
- T. Authority granted by this permit does not waive permit requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent (CEA).
- U. Authority granted by this permit does not waive permit requirements under the authority of Part 305, Natural Rivers, of the NREPA. A Natural Rivers Zoning Permit may be required for construction, land alteration, streambank stabilization, or vegetation removal along or near a natural river.
- V. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property are subject to civil damage litigation.
- W. Unless specifically stated in this permit, construction pads, haul roads, temporary structures, or other structural appurtenances to be placed in a wetland or on bottomland of the water body are not authorized and shall not be constructed unless authorized by a separate permit or permit revision granted in accordance with the applicable law.
- X. For projects with potential impacts to fish spawning or migration, no work shall occur within fish spawning or migration timelines (i.e., windows) unless otherwise approved in writing by the Michigan Department of Natural Resources, Fisheries Division.
- Y. Work to be done under authority of this permit is further subject to the following special instructions and specifications:
1. Authority granted by this permit does not waive permit or program requirements under Part 91 of the NREPA or the need to acquire applicable permits from the CEA. To locate the Soil Erosion Program Administrator for your county, visit <https://www.michigan.gov/egle/about/organization/water-resources/soil-erosion/sesc-overview> and select "Soil Erosion and Sedimentation Control Agencies".

2. The authority to conduct the activity as authorized by this permit is granted solely under the provisions of the governing act as identified above. This permit does not convey, provide, or otherwise imply approval of any other governing act, ordinance, or regulation, nor does it waive the permittee's obligation to acquire any local, county, state, or federal approval or authorization necessary to conduct the activity.
3. No fill, excess soil, or other material shall be placed in any wetland, floodplain, or surface water area not specifically authorized by this permit, its plans, and specifications.
4. This permit does not authorize or sanction work that has been completed in violation of applicable federal, state, or local statutes.
5. The permit placard shall be kept posted at the work site in a prominent location at all times for the duration of the project or until permit expiration.
6. This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by EGLE, will be for a five-year period beginning on the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.
7. Prior to the initiation of any permitted construction activities, a sedimentation barrier (e.g., silt fence, straw bale barrier, etc.) shall be constructed immediately downgradient of the construction site.
  - a. Sedimentation barriers shall be specifically designed to handle the sediment type, load, water depth, and flow conditions of each construction site throughout the anticipated time of construction and unstable site conditions.
  - b. The sedimentation barrier shall be maintained in good working order throughout the duration of the project. Upon project completion, the accumulated materials shall be removed and disposed of at an upland (i.e., non-wetland, non-floodplain, non-bottomland) site and stabilized with seed and mulch.
  - c. The sedimentation barrier shall then be removed in its entirety and the area restored to its original configuration and cover.
  - d. In the event there is a problem with the sedimentation barrier, and a failure to contain the sediments from leaving the project site, the project shall be immediately stopped, evaluated, and appropriate measures shall be taken to stop the release of sediments/turbidity. The permittee, agent or contractor shall immediately notify the EGLE representative through MiEnviro Schedules of Compliance submission, or via phone or email at 989-619-2443 or KentK4@Michigan.gov, on the turbidity curtain failure and the measures being taken to stop the release of sediments/turbidity.
8. All raw areas in uplands resulting from the permitted construction activity shall be effectively stabilized with sod and/or seed and mulch (or other technology specified by this permit or project plans) in a sufficient quantity and manner to prevent erosion and any potential siltation to surface waters or wetlands. Temporary stabilization measures shall be installed before or upon commencement of the permitted activity and shall be maintained until permanent measures are in place. Permanent measures shall be in place within five (5) days of achieving final grade.

9. All raw earth within 100 feet of a lake, stream, or wetland that is not brought to final stabilization by the end of the active growing season shall be temporarily stabilized with mulch blankets in accordance with the following dates: September 20th for the Upper Peninsula, October 1st for the Lower Peninsula north of US-10, and October 10th for the Lower Peninsula south of US-10.
10. All fill/backfill shall consist of clean inert material that will not cause siltation nor contain soluble chemicals, organic matter, pollutants, or contaminants. All fill shall be contained in such a manner so as not to erode into any surface water, floodplain, or wetland. All raw areas associated with the permitted activity shall be stabilized with sod and/or seed and mulch, riprap, or other technically effective methods as necessary to prevent erosion.
11. The filled area surrounding building foundations shall not be greater than 10 feet from edge of foundation to toe of slope. Fill slopes shall not be flatter than 1 vertical to 4 horizontal. Additional fill for purposes such as landscaping or recreational facilities are not authorized.
12. Torch Lake Township has a wetland ordinance. Authority granted by this permit does not waive permit requirements or the need to obtain a separate permit from the Township.
13. This permit was issued after the review of existing conditions at the project site. The Great Lakes shoreline is always changing. Erosion occurs with fluctuating water levels and storms. Soil types and the presence or absence of plants and trees may also impact the rate of erosion. The location of the landward edge of the zone of active erosion (erosion hazard line) used for this permit may change due to erosion. At the time of construction, the permittee shall review the location of the building site with the erosion hazard line and the setbacks. If there are changes to the shoreline or distance between the edge of active erosion and the lakeward edge of the structure, contact the EGLE office that issued this permit prior to beginning construction.
14. The 30-year projected recession distance from the erosion hazard line for readily moveable structures is 50 feet. The 60-year projected recession distance from the erosion hazard line for non-readily moveable structures is 85 feet. The average annual rate of recession of the shoreline is 1.2 feet per year.
15. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property are subject to civil damage litigation.
16. Your agent(s) or contractor(s), if specified in the application, will only be issued an electronic notice of permit. It is the permittee's responsibility to ensure that agent(s) or contractor(s) have completely read and understand all permit restrictions and conditions; and that a paper copy of the permit is kept available at the site for review by EGLE staff upon request.
17. Notification of project completion and digital photos of the completed project shall be emailed to KentK4@Michigan.gov.



Issued By:

Keri Kent  
Gaylord District Office  
Water Resources Division  
989-619-2443

EGLE  
WRP048297 v1.0  
Approved  
Issued On:03/17/2026  
Expires On:03/17/2031

THIS PERMIT MUST BE SIGNED BY THE PERMITTEE TO BE VALID.

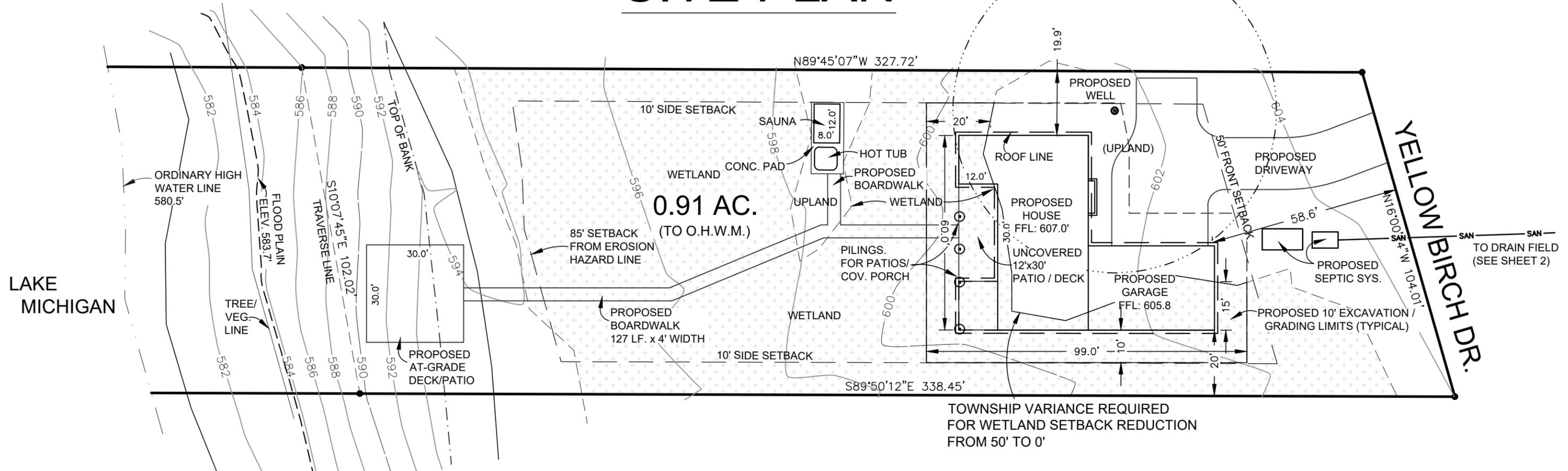
I hereby assure that I have read, am familiar with, and agree to adhere to the terms and conditions of this permit.

\_\_\_\_\_  
Permittee Signature

\_\_\_\_\_  
Date

cc: Cam Koevering, Forge Homes LLC, Contractor  
Laura Kulinski-Masell, current owner  
Antrim CEA  
Antrim County Clerk  
Torch Lake Township Clerk  
Torch Lake Township Zoning

# SITE PLAN



**SITE DATA:**

PARCEL ID: 05-14-335-012-30  
 PARCEL ADDRESS: 567 YELLOW BIRCH DR.  
 KEWADIN, MI 49648

ZONING DISTRICT: R1 - SINGLE FAMILY RESIDENTIAL

**SETBACKS:**

FRONT: 50'  
 SIDE: 10'  
 WATER: 50'

**DESCRIPTION AS FURNISHED:**

**PARCEL A**

COM AT NE COR OF SEC 35; TH N 88 DEG W 1320 FT ALG N SEC LINE TO E LINE OF GOV LOT 1; TH S 00 DEG W 2713.72 FT TO S LINE OF GOV LOT 2; TH S 89 DEG W 660.05 FT TO W LINE OF E 660 FT OF GOV LOT 2; TH E 660 FT; TH N 00 DEG E 250.04 FT; TH S 89 DEG W 74.20 FT TO WLY LINE OF 30 FT WIDE ESMT; TH N 65 DEG E 61.88 FT ALG ESMT; TH N 16 DEG W 76.90 FT FOR POB; TH S 89 DEG W 338.01 FT TO SHORE OF GRAND TRAVERSE BAY; TH N 10 DEG W 101.65 FT ALG SHORE; TH N 89 DEG E 327.63 FT TO WLY LINE OF ESMT; TH S 16 DEG E 104.01 FT TO POB; BEING PART OF GOV LOT 2 SEC 35 T31N R9W 0.764 A M/L.

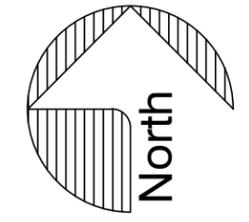
NOTE: UNDERGROUND UTILITIES SUPPLYING SAUNA AND HOT TUB TO BE INSTALLED BY DIRECTIONAL BORE

**AREA CALCULATIONS:**

HOUSE/GARAGE ROOF: 3,360 SF  
 BOARDWALK OVER WETLAND: 127 L.F.

WETLAND DREDGE VOLUME: 62 C.Y.  
 WETLAND FILL VOLUME: 248 C.Y.

AREA DREDGE: 3,322 SF. (AVG. 6" DEPTH)  
 AREA FILL: 3,322 SF. (AVG. 24" DEPTH)



SCALE: 1" = 30'  
 CONTOURS SHOWN ARE AT ONE FOOT INTERVALS

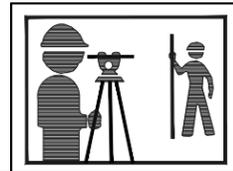
ELEVATIONS ARE ON AN NAVD88 DATUM

**Legend**

- IRON SET
- IRON FOUND
- ⊙ MONUMENT FOUND
- △ NAIL SET
- ▲ NAIL FOUND
- ⊕ GOVERNMENT 1/4 CORNER
- ⊙ SECTION CORNER
- ⊕ CENTER 1/4 CORNER
- (R) RECORD
- (M) MEASURED



Jesse E. Mitchell  
 Professional Surveyor No. 4001054433



**Bob Mitchell & Associates**

SURVEYING / ENGINEERING  
 404 West Main Street P.O. Box 306  
 Kingsley, MI 49649  
 (231) 263-5463 • FAX (231) 263-7921  
 Toll Free in Michigan 1-800-533-6627  
 www.mapcivilsurvey.com

BASIS OF BEARING: NAD 83 MISPCS CENTRAL ZONE

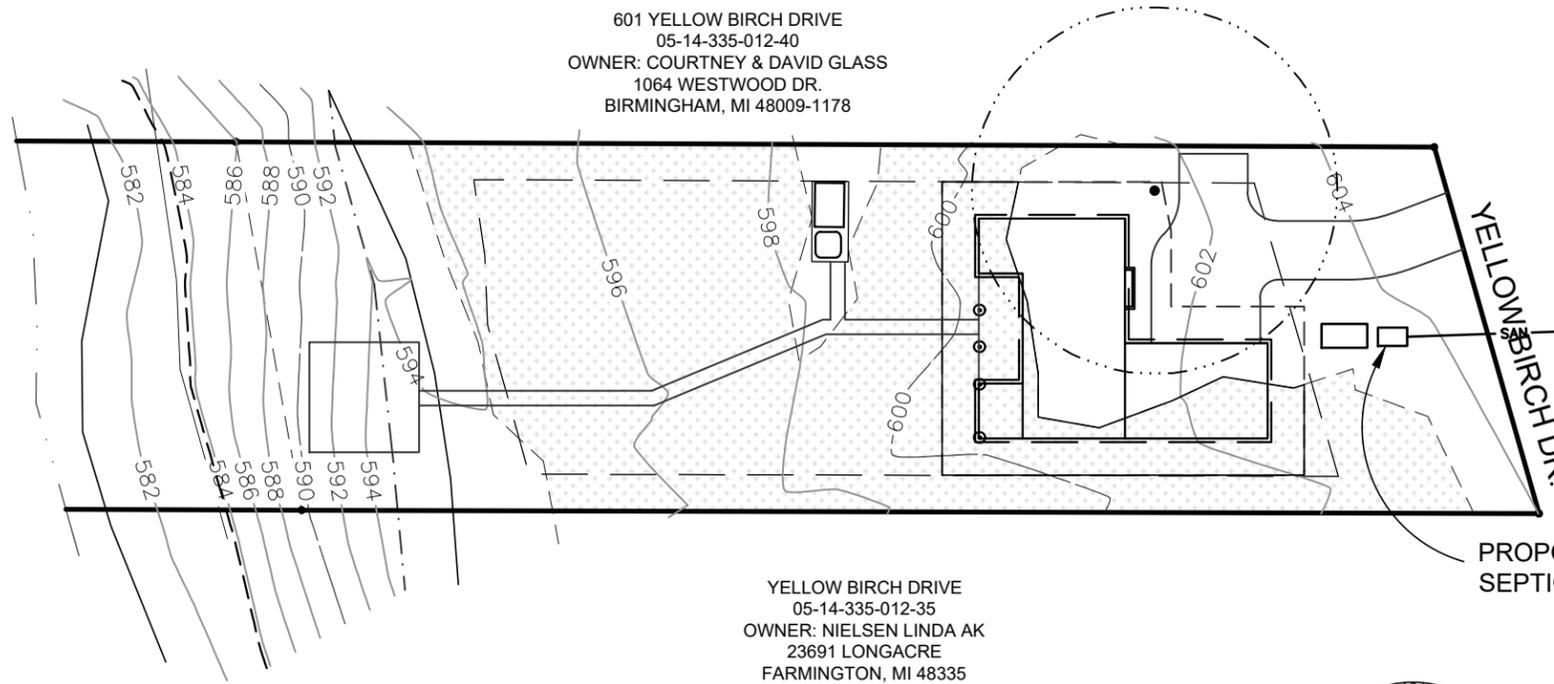
CLIENT: RANI SALLOUM		
LOCATION: PART OF GOV'T LOT 2, SECTION 35, TOWN 31 NORTH, RANGE 9 WEST, TORCH LAKE TOWNSHIP, ANTRIM COUNTY, MICHIGAN.		
DWN. MJC	DATE 1/30/2026	FILE NO. 20250507
CK. JEM	FLD. BK. X PG. X	SHEET 1 OF 2

WRP048297 v1.0  
 Approved  
 Issued On: 03/17/2026  
 Expires On: 03/17/2031

# SITE PLAN

601 YELLOW BIRCH DRIVE  
05-14-335-012-40  
OWNER: COURTNEY & DAVID GLASS  
1064 WESTWOOD DR.  
BIRMINGHAM, MI 48009-1178

LAKE MICHIGAN



YELLOW BIRCH DRIVE  
05-14-335-012-35  
OWNER: NIELSEN LINDA AK  
23691 LONGACRE  
FARMINGTON, MI 48335

PROPOSED SEPTIC TANKS

±375 LF 2" SCH. 80 FORCEMAIN

511 N GOLDEN BEACH  
05-14-335-014-01  
OWNER: MAGENNIS DEBORAH A REV TRUST  
511 N GOLDEN BEACH  
KEWADIN, MI 49648

GRADING LIMITS

PROPOSED HOUSE

FFL: 607.0

6" POURED WALL

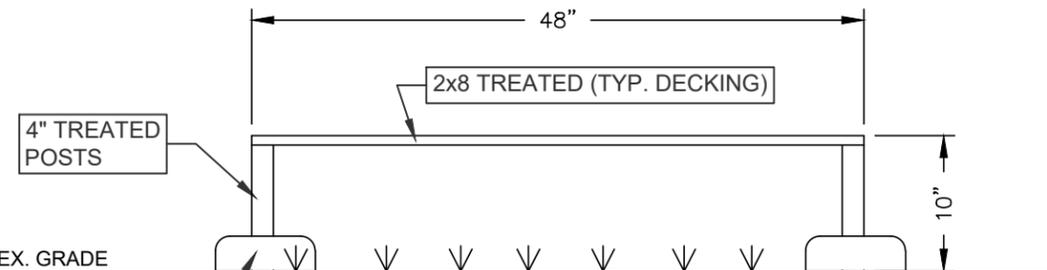
CRAWLSPACE

TOP OF FOOTING: 601.0

24"x12" FOOTING

BUILDING SECTION

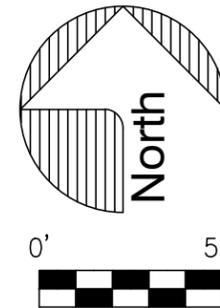
1"=5'



BOARDWALK / DECK SECTION  
NO SCALE

EX. GRADE

"CAMO BLOCK"  
FOUNDATION  
BLOCKS

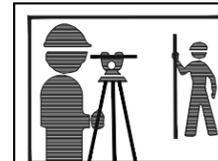


- Legend**
- IRON SET
  - IRON FOUND
  - ⊙ MONUMENT FOUND
  - △ NAIL SET
  - ▲ NAIL FOUND
  - ⊕ GOVERNMENT 1/4 CORNER
  - SECTION CORNER
  - ⊕ CENTER 1/4 CORNER
  - (R) RECORD
  - (M) MEASURED

SCALE: 1" = 50'  
CONTOURS SHOWN ARE AT  
TWO FOOT INTERVALS  
ELEVATIONS ARE ON AN NAVD88 DATUM  
BASIS OF BEARING: NAD 83 MISPCS CENTRAL ZONE



Jesse E. Mitchell  
Professional Surveyor No. 4001054433



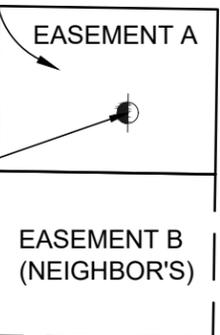
**Bob Mitchell & Associates**  
SURVEYING / ENGINEERING

404 West Main Street P.O. Box 306  
Kingsley, MI 49649  
(231) 263-5463 • FAX (231) 263-7921  
Toll Free in Michigan 1-800-533-6627  
www.mapcivilsurvey.com

ALTERATION OF ANY PART OF THIS DOCUMENT WITHOUT THE  
PERMISSION OF MITCHELL & ASSOCIATES, PC, IS PROHIBITED.

TEST HOLE  
LATITUDE: N45° 02' 31.3345"  
LONGITUDE: W85° 22' 37.9507"

PROPOSED 25'x40' DRAIN FIELD  
RECORDED LIBER 314, PAGE 35, 2011



BASIS OF BEARING: NAD 83 MISPCS CENTRAL ZONE

CLIENT:  
RANI SALLOUM  
LOCATION:  
PART OF GOV'T LOT 2, SECTION 35,  
TOWN 31 NORTH, RANGE 9 WEST,  
TORCH LAKE TOWNSHIP,  
ANTRIM COUNTY, MICHIGAN.

DWN. MJC	DATE 1/30/2026	FILE NO. 20250507
CK. JEM	FLD. BK. X	PG. X
SHEET 2 OF 2		WRP048297 v1.0

Approved  
Issued On: 03/17/2026  
Expires On: 03/17/2031



# FORGE HOMES

DRAWN BY:  
Cam Van Koevering  
Kyle Glass  
Forge Homes LLC

PROJECT:  
SALLOUM

PARCEL:  
567 Yellow Birch Dr  
Kewadin, MI 49648  
PP # 05-14-335-012-30

### General Notes:

- 1x4 LP® Trim corners throughout
- 1x4 LP® Trim around all doors & windows & overhead doors
- LP® Trim bands per layout
- LP® B&B siding per layout
- Vesta® siding per layout
- Vinyl siding all areas per layout



East Elevation



West Elevation

DATE  
1/30/2026

SCALE  
 $\frac{1}{4}'' = 1'$

SHEET  
**FRONT / REAR  
ELEVATIONS**



# FORGE HOMES

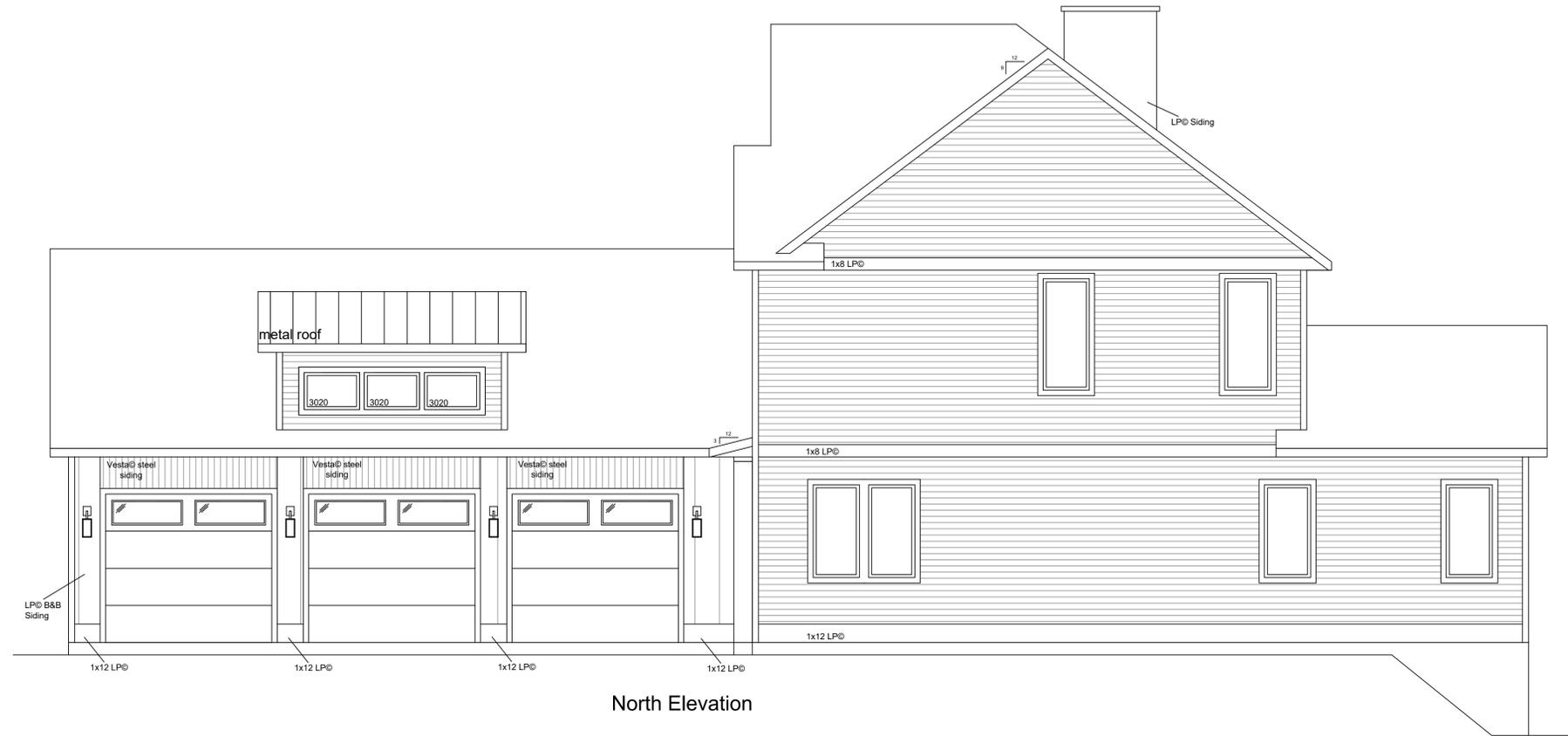
DRAWN BY:  
Cam Van Koevering  
Kyle Glass  
Forge Homes LLC

PROJECT:  
SALLOUM

PARCEL:  
567 Yellow Birch Dr  
Kewadin, MI 49648  
PP # 05-14-335-012-30

General Notes:

- 1x4 LP® Trim corners throughout
- 1x4 LP® Trim around all doors & windows & overhead doors
- LP® Trim bands per layout
- LP® B&B siding per layout
- Vinyl B&B all other siding areas



DATE 1/30/2026

SCALE 1/4" = 1'

SHEET

SIDE  
ELEVATIONS



LAKE  
MICHIGAN



MAGENNIS DEBORAH A TRUSTEE

OFFSITE  
DRAIN FIELD

salloum  
"A"  
"B"

LIBER 314 PG. 35  
2011 REVISED ESMT

# SITE PLAN

ALTERATION OF ANY PART OF THIS DOCUMENT WITHOUT THE PERMISSION OF MITCHELL & ASSOCIATES, PC, IS PROHIBITED.



**Bob Mitchell & Associates**  
SURVEYING / ENGINEERING

404 West Main Street P.O. Box 306  
Kingsley, MI 49649  
(231) 263-5463 · FAX (231) 263-7921  
Toll Free in Michigan 1-800-533-6627  
www.mapcivilsurvey.com

CLIENT: RANI SALLOUM			
LOCATION: PART OF GOV'T LOT 2, SECTION 35, TOWN 31 NORTH, RANGE 9 WEST, TORCH LAKE TOWNSHIP, ANTRIM COUNTY, MICHIGAN.			
DWN. MJC	DATE REV 01.13.26	FILE NO. 20250507	
CK. JEM	FLD. BK. X PG. X	SHEET 1 OF X	

WRP048297 v1.0  
Approved  
Issued On:03/17/2026  
Expires On:03/17/2031

## Yellow Birch Culvert Expense

David Hansen <david@emailhansen.com>

Tue, Aug 22, 2023 at 11:31 AM

To: Linda Nielsen <ap@mdecorp.com>, Laura Nielsen <laurakvet4@gmail.com>, Laura Nielsen <laurakvet@hotmail.com>

Good Morning,

As a follow up to the road closure I wanted to advise you on why this work is necessary and cost to the ownership group.

For a couple years now, Jamie Hresko and I have repeatedly repaired washed out areas at the entrance to our private drive. Most of the time this was a result of the culvert being overwhelmed from the run off and over flowing across the driveway. Recently the County has undertaken the cleaning of the ditch areas, upgrading the roadways and soon paving of the development directly outside of our private drive. This work will only increase the flow of run off received at our private drive.

Recently Deb Magennis sought a contractor to replace her driveway culvert and the one that services our private drive. This contractor was awarded this work by Deb and yesterday I learned the details of this and the timeline.

The cost for the work related to only the private drive will run approximately \$1,700.00. We have adequate funds to cover this expense without the need for any special assessment. There were no other competing bids sought, however, I do not believe this cost is out of line.

**From:** David Hansen  
**Sent:** Monday, August 21, 2023 8:42 PM  
**To:** Laura Nielsen; Laura Nielsen  
**Subject:** Yellow Birch Update

Good Evening,

I want to advise you that this Friday (25th), our road, the private drive, will be closed while a new culvert is being installed. I was advised work will begin at approximately 7:30am and is expected to be completed later that afternoon.

I apologize for this late notice and hope it doesn't cause too much inconvenience. If you are up here during this time, please make sure you park any vehicles you need outside of the private drive while work is being completed.

If you have any questions, please call me.

Thank you,

David Hansen  
616-893-1911 (cell)  
david@emailhansen.com

CONFIDENTIALITY NOTICE: This email message may contain information that is privileged, confidential, and exempt from disclosure. It is intended for use only by the person(s) to whom it is addressed. If you have received this in error, please (1) do not forward or use this information in any way; (2) delete this email and any copies in any form immediately and (3) notify me at the email address above. Thank you.

February 26<sup>th</sup>, 2026

Dear Members of the Zoning Board of Appeals,

I respectfully submit the following supplemental information for inclusion in the record prior to the continued hearing of Case ZBA-2026-01.

First, I would like to clarify that I am not a developer. I am a private property owner seeking to sell my property to an individual who intends to build a single family residence on a residentially zoned R-1 parcel. My family has paid property taxes on this parcel for decades as a buildable residential lot. The characterization during the prior hearing implying development activity beyond a single family home is inaccurate and does not reflect the nature of this request. I watched the ZBA meeting online and wanted to address several points that were discussed. I have attached documentation relating to the culvert installed at the road for clarification. That culvert was installed by the Yellow Birch HOA and was not completed by me.

The property is zoned R-1, where a single family dwelling is a permitted use. The only reason the lot is presently considered unbuildable is the adoption of the September 19, 2024 zoning ordinance amendment introducing a 50 foot setback from wetlands within the Shoreline Overlay District. As acknowledged by Township staff during the hearing, this is the first case before the ZBA involving the newly added wetland setback requirement.

Prior to the 2024 amendment, the lot was understood to be buildable under the prior dimensional standards. The hardship is therefore not self created. It arises solely from the newly imposed setback requirement. Under the Township's variance standards, strict compliance must not unreasonably prevent the owner from using the property for a permitted purpose. In this case, strict compliance leaves virtually no buildable envelope when applying the 50 foot wetland setback from both the west and south wetland boundaries.

The practical difficulty is directly tied to the unique configuration of wetlands on this parcel combined with the newly enacted setback. This satisfies the ordinance criteria requiring that the difficulty be due to unique circumstances of the property and not created by the applicant.

It was also acknowledged during the hearing that the ZBA is not required to wait for EGLE approval and that EGLE's review process is independent. The applicant team has been working directly with EGLE, and Township staff indicated that the proposal is in line for state level review and public notice. The Township's role is limited to

reviewing the dimensional setback issue, while EGLE retains authority over wetland impact, mitigation, and environmental compliance.

Questions were raised regarding structure placement and whether alternative siting could reduce the requested variance. The proposed location was determined after consultation with EGLE, health department considerations, septic design constraints, drainage requirements for positive footing drain, and driveway safety and turning radius standards. The placement represents an effort to minimize disturbance while still allowing reasonable residential use.

Discussion of an existing culvert system and speculation about drainage conditions does not change the zoning analysis. The culvert predates the current purchase agreement and was installed by the old association in 2023 due to excess rain washing away portions of Yellow Birch Drive. Wetland delineation was conducted and reviewed through the appropriate state regulatory process. Any concerns regarding hydrology or drainage fall within EGLE's jurisdiction, not the ZBA's dimensional variance authority.

The Township planner stated during the hearing that the variance process is designed for unique properties where strict application of the ordinance creates hardship. This parcel is precisely such a case. Without variance relief, a legally created residential lot in an R-1 district is rendered effectively unusable for its permitted purpose.

For these reasons, I respectfully request reconsideration of the variance application with explicit findings addressing each required variance criterion:

1. That strict compliance unreasonably prevents permitted residential use.
2. That the variance requested is the minimum necessary to allow such use.
3. That the hardship results from unique site conditions combined with the 2024 ordinance amendment.
4. That the hardship was not created by the applicant.

I further request that this letter be included in the official record of Case ZBA-2026-01.

Thank you for your time and consideration.

Respectfully,

Laura Kulinski-Masell